



# DETACHED GARAGE

A detached garage is often constructed on a property to provide additional storage for vehicles, seasonal equipment, tools or various other items. Like all construction, different Regulations apply to ensure that the proposed structure is safe, and will last a long time. For detached garages, these Regulations include the following:

## ONTARIO BUILDING CODE

The Building Code states that any structure with an area greater than 10 m<sup>2</sup> (108 ft<sup>2</sup>) requires a building permit.

## ZONING BY-LAW

Detached garages, regardless of size, must comply with the provisions of the Town of Tillsonburg zoning bylaw.

These requirements include:

- The location of the proposed building. A detached garage may be located in the side, or rear yard but not in the required front yard
- Setbacks from property lines – generally a minimum of 1.2m (4 ft)
- The size of the building may be limited depending on the percentage of lot coverage permitted (contact Tillsonburg Building Services to confirm what your property zoning allows for size).

## BUILDING PERMITS

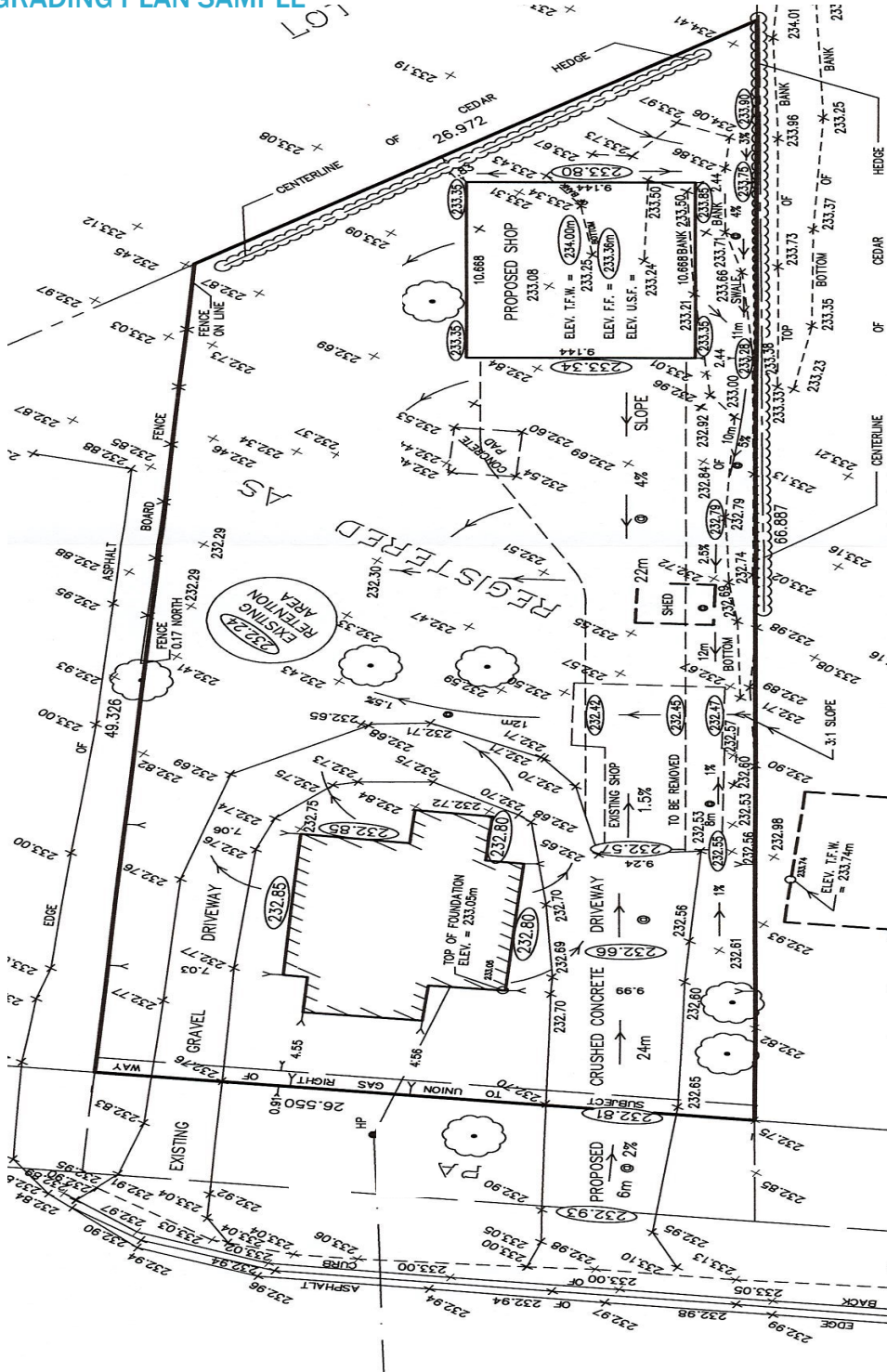
A complete Building Permit Application requires the following:

- A completed CloudPermit application (<https://ca.cloudpermit.com/login-form>)
- One (1) copy of a Site plan/grading plan prepared by an Ontario Land Surveyor or Professional Engineer showing your detached garage location along with elevations and grading design.
- One (1) copy of your detached garage plans drawn to scale

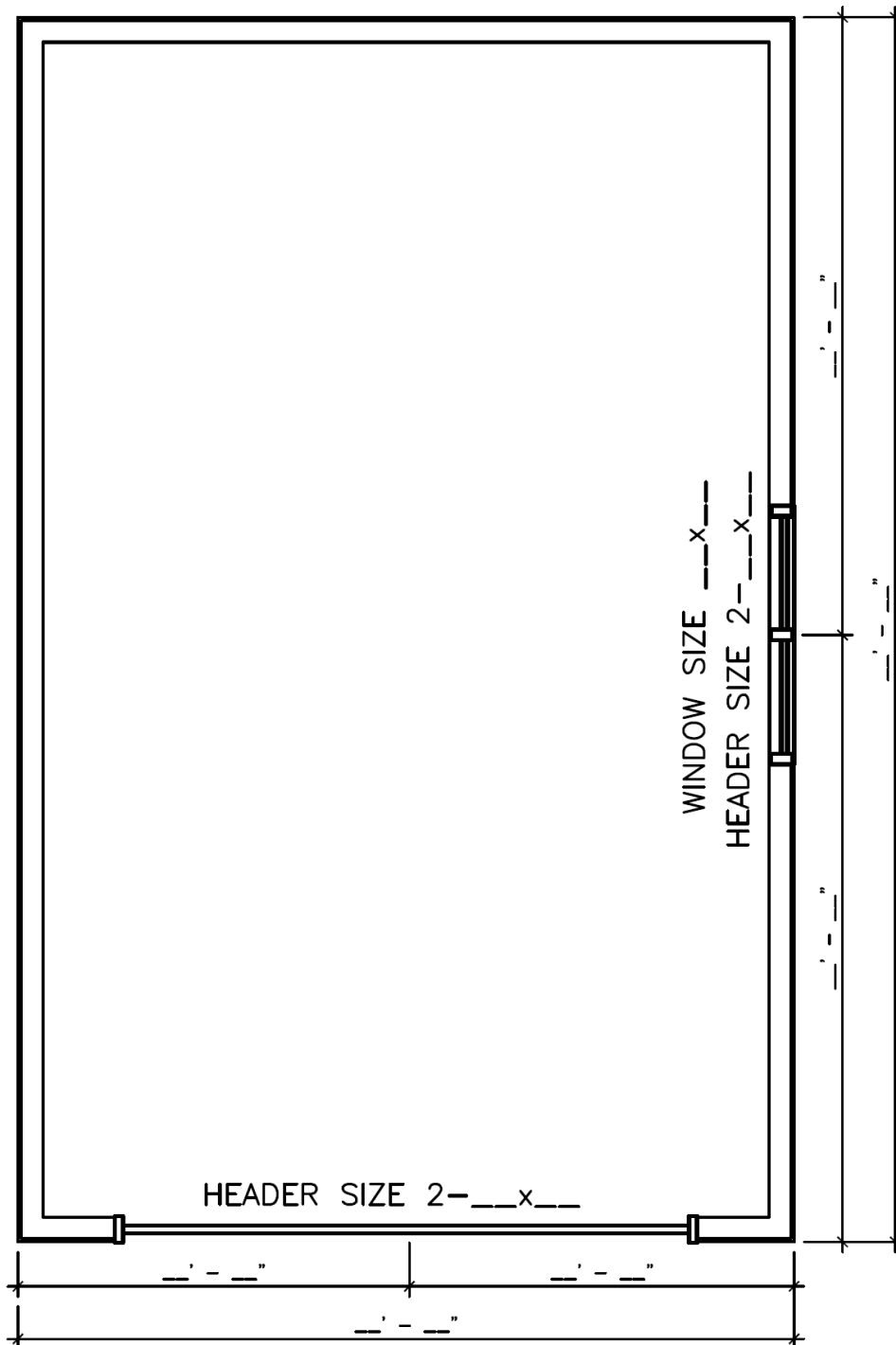
Plans for garages larger than 538 ft<sup>2</sup> that have not been prepared by the owner must be completed by a Ministry Qualified Designer.

NOTE: The sketches provided with this package are intended to illustrate the types of information required on the drawings to accompany your completed Building Permit Application. Please prepare your own drawings specific to your proposal to submit with the application or have a designer prepare the drawings for you.

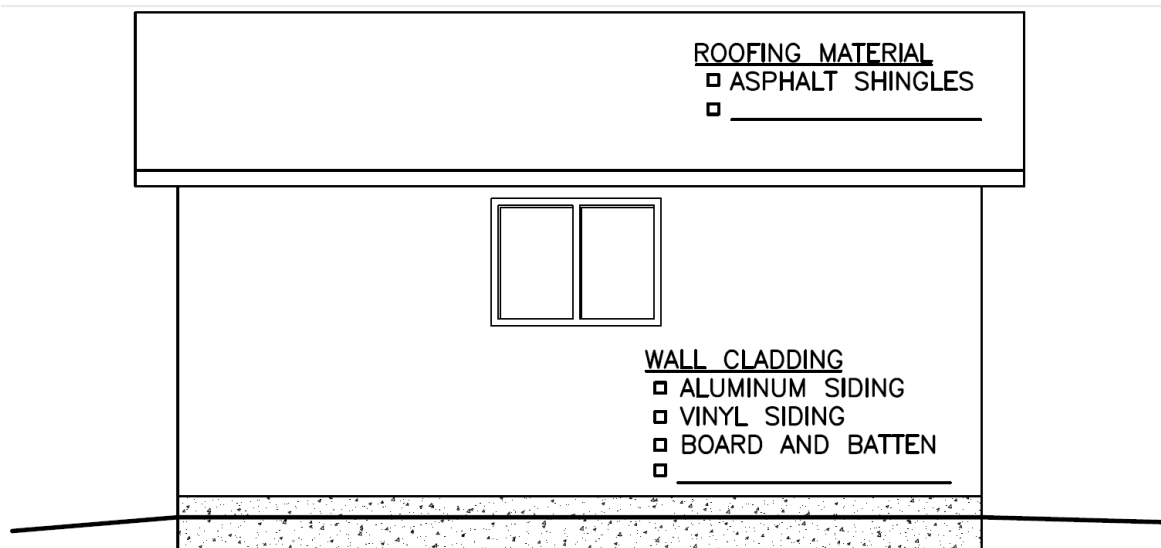
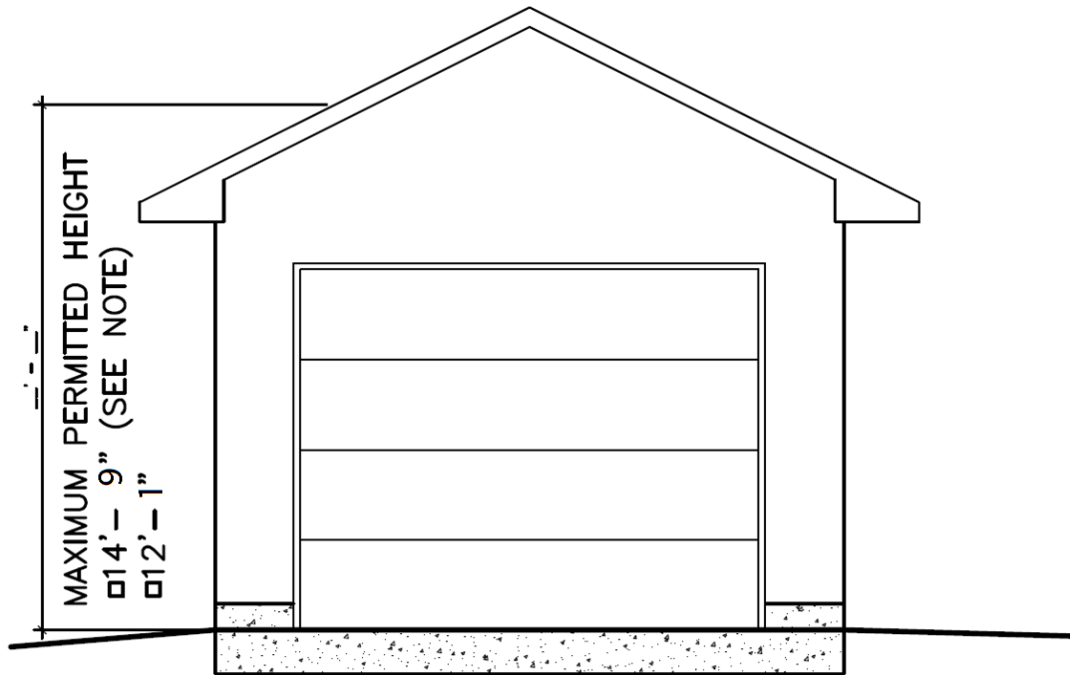
SITE/GRADING PLAN SAMPLE



## FLOOR PLAN



## ELEVATIONS



NOTE: THE MAXIMUM HEIGHT OF THE GARAGE IS PERMITTED TO BE 14'-9" WHERE THE EXISTING RESIDENTIAL BUILDING DOES NOT HAVE AN ATTACHED PRIVATE GARAGE OR THE LOT EXCEEDS 1,500 M<sup>2</sup> (16,146 FT<sup>2</sup>)

## SECTION

